



AIA Document G704™ – 2017

Certificate of Substantial Completion

PROJECT: <i>(name and address)</i> 18068 Sulphur Springs Health Center Canton, MS	CONTRACT INFORMATION: Contract For: General Construction Date: May 06, 2019	CERTIFICATE INFORMATION: Certificate Number: 001 Date: 22 July 2020
OWNER: <i>(name and address)</i> Madison County 125 West North Street Canton, MS 39046-0608	ARCHITECT: <i>(name and address)</i> Dale Partners Architects, PA One Jackson Place, Suite 250 188 East Capitol Street Jackson, MS 39201-2100	CONTRACTOR: <i>(name and address)</i> Benson Builders and Properties, Inc. 205 Park Ct Ridgeland, MS 39157

The Work identified below has been reviewed and found, to the Architect's best knowledge, information, and belief, to be substantially complete. Substantial Completion is the stage in the progress of the Work when the Work or designated portion is sufficiently complete in accordance with the Contract Documents so that the Owner can occupy or utilize the Work for its intended use. The date of Substantial Completion of the Project or portion designated below is the date established by this Certificate.
(Identify the Work, or portion thereof, that is substantially complete.)

Entire Project.

Dale Partners Architects, PA		Jason Agostinelli, AIA, Partner	17 July 2020
ARCHITECT <i>(Firm Name)</i>	SIGNATURE	PRINTED NAME AND TITLE	DATE OF SUBSTANTIAL COMPLETION

WARRANTIES

The date of Substantial Completion of the Project or portion designated above is also the date of commencement of applicable warranties required by the Contract Documents, except as stated below:
(Identify warranties that do not commence on the date of Substantial Completion, if any, and indicate their date of commencement.)

WORK TO BE COMPLETED OR CORRECTED

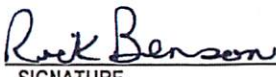
A list of items to be completed or corrected is attached hereto, or transmitted as agreed upon by the parties, and identified as follows:
(Identify the list of Work to be completed or corrected.)
See attached.

The failure to include any items on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents. Unless otherwise agreed to in writing, the date of commencement of warranties for items on the attached list will be the date of issuance of the final Certificate of Payment or the date of final payment, whichever occurs first. The Contractor will complete or correct the Work on the list of items attached hereto within Thirty (30) days from the above date of Substantial Completion.

Cost estimate of Work to be completed or corrected: \$10,000.00

The responsibilities of the Owner and Contractor for security, maintenance, heat, utilities, damage to the Work, insurance, and other items identified below shall be as follows:
(Note: Owner's and Contractor's legal and insurance counsel should review insurance requirements and coverage.)

The Owner and Contractor hereby accept the responsibilities assigned to them in this Certificate of Substantial Completion:

Benson Builders and Properties, Inc.		Rick Benson, Secretary Treasurer	21 July 2020
CONTRACTOR <i>(Firm Name)</i>	SIGNATURE	PRINTED NAME AND TITLE	DATE
Madison County	_____	Gerald Steen, President	_____
OWNER <i>(Firm Name)</i>	SIGNATURE	PRINTED NAME AND TITLE	DATE



Architect's Punch List

T. Doug Dale, AIA
 Jeffrey R. Barnes, AIA
 Leigh G. Jaunsen, AIA, LEED AP
 Russ S. Blount, AIA, LEED AP
 Jason M. Agostinelli, AIA

 In memory of
 Michael A. Barranco, AIA
 1962-2011

20 July 2020
 18068 Sulphur Springs
 Contract Benson's Construction
 Date / Time 15 July 2020
 Weather / Temp Sunny / 92 ° F

Contractor will need to deliver closeout documents prior to final application for payment.
 Items 1 - 38 are included from the original walk through.

Item	Location	Description	Date	Verified
1.	General Notes	Finish cleaning / power washing the exterior of all building.	8/7/20	CB
2.		Complete grounds / site cleanup. Gravel can be left	8/7/20	CB
3.		Remove trailer, temporary power pole and overhead service	8/7/20	CB
4.		Sod around buildings	8/7/20	CB
5.		Touch up and fill holes in siding as necessary	8/7/20	CB
6.		Install permanent sewer clean outs	8/7/20	CB
7.		Schedule the equipment operation with Owner	8/7/20	CB
8.	Pavilion	Paint Conduit to match the beams (when on the beams or the truss plates) (Figure 1)	8/7/20	CB
9.		Fill in all gaps in roof where conduit punches through (Figure 2)	8/7/20	CB
10.		Stain beam at the truss plate, where missing (Figure 3)	8/7/20	CB

DALE PARTNERS ARCHITECTS, P.A.
 Architecture • Interiors • Planning
 One Jackson Place, Suite 250
 188 East Capitol Street
 Jackson, MS 39201-2100
 P 601.352.5411 • f 601.352.5362
 161 Lameuse Street, Suite 201
 Biloxi, MS 39530
 P 228.374.1409 • f 228.374.1414
 dalepartners.com

11.	Restroom Building	Adjust the water pressure at the water fountains (Figure 4)	8/12/20	CB
12.		Touch up the Hardie board siding around the water fountain (Figure 5)	7/22/20	CB
13.		Touch up paint on the doors around the push plate (Figure 6)	7/22/20	CB
14.		Install a corner piece of the RFP in the women's restroom to make sure it does not come apart (Figure 7)	7/27/20	CB
15.		Re-caulk around toilet in women's restroom (Figure 8)	7/30/20	CB
16.		Remove writing from walls in the room (Figure 9)	8/4/20	CB
17.		Verify that the light is not too close to the heater. If it is, relocate it. (Figure 10)	8/7/20	CB
18.		Touch up paint around the doors (Figure 11)	7/22/20	CB
19.		Urinal in Men's restroom is running and not flushing (Figure 12)	8/12/20	CB
20.		Fill the gaps in between Hardie Board panels on the wall behind the restroom building (Figure 13)	8/3/20	CB
21.		Touch up Hardie Board siding at restroom building (Figure 14)	8/3/20	CB
22.		Clean off the wall louvers at both bathrooms (Figure 15)	8/10/20	CB
23.		Repair Hardie Board siding on restroom building (Figure 16)	8/3/20	CB
24.		Verify that the exhaust and lovers are working properly in both bathrooms. Make sure they can open and close	8/10/20	CB
25.		Adjust (if possible) exhaust in restrooms to draw more air through building	8/10/20	CB
26.		Touch up paint at the doors. I should not be able to see grey paint from the outside (Figure 17)	8/3/20	CB
27.		Install GFI outlets in restrooms where they were left out. (Refer to electrical plans)	Outlets were moved these are control junctions	
28.		Clean paint off column at restroom	8/3/20	CB
29.	Health Center	Touch up paint at the door and frame (Figure 18)	8/3/20	CB

30.		Install rubber base in storage room and touch up damaged wall in this space (Figure 19)	8/13/20	CB
31.		Touch up around door frames. Make sure to remove the trim paint from the field. (Figure 20)	8/10/20	CB
32.		Replace can light in the great room (Figure 21)	7/27/20	CB
33.		Figure out a solution for the condensation on the equipment in the kitchen (Figure 23)	8/17/20	CB
34.		Re-caulk the serving counter in the kitchen (Figure 24)	8/3/20	CB
35.		Install a corner piece of FRP to properly turn the corner (Figure 25)	7/27/20	CB
36.		Sink in Men's restroom is not working (Figure 26)	8/10/20	CB
37.		Secure the mop sink in the kitchen. It is attached to a drain, but it can still be moved.	8/10/20	CB
38.		Plan all handrails to match the truss plates (Figure 27)	8/3/20	CB

Report By:



Ebony Batchelor, Associate AIA
Dale Partners Architects, P.A.

Photos, Architect's Punch list

cc: Chris Benson, Al Guynes, Larry Scott, Danny Lee, Shelton Vance, Bobby Strobel, Russ Blount,

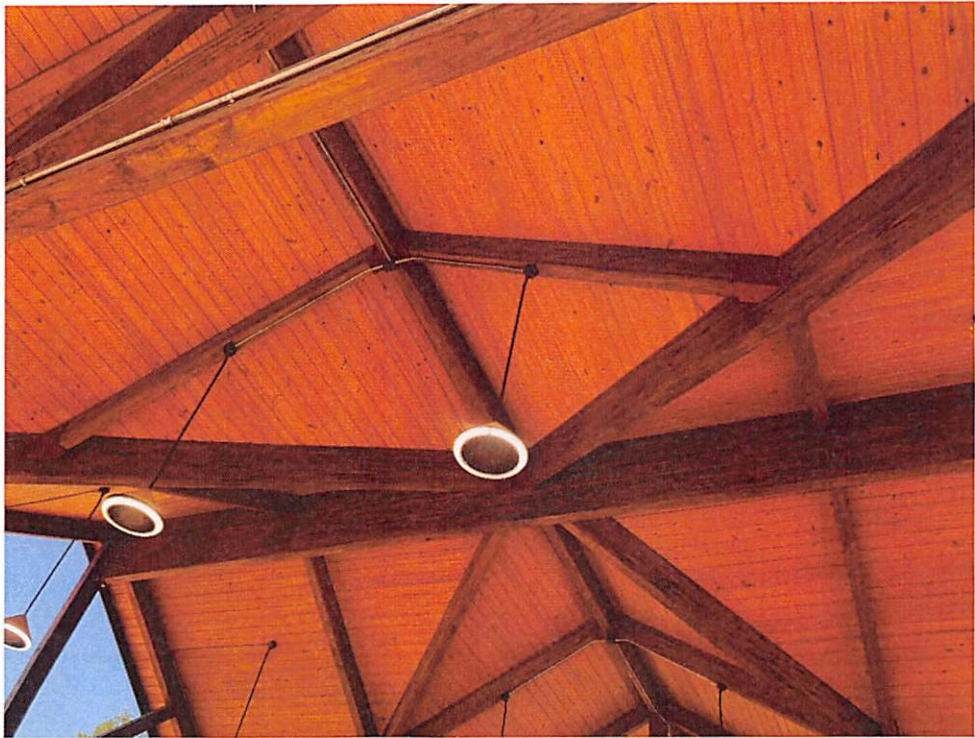


Figure 1 – Pavilion



Figure 2 – Pavilion

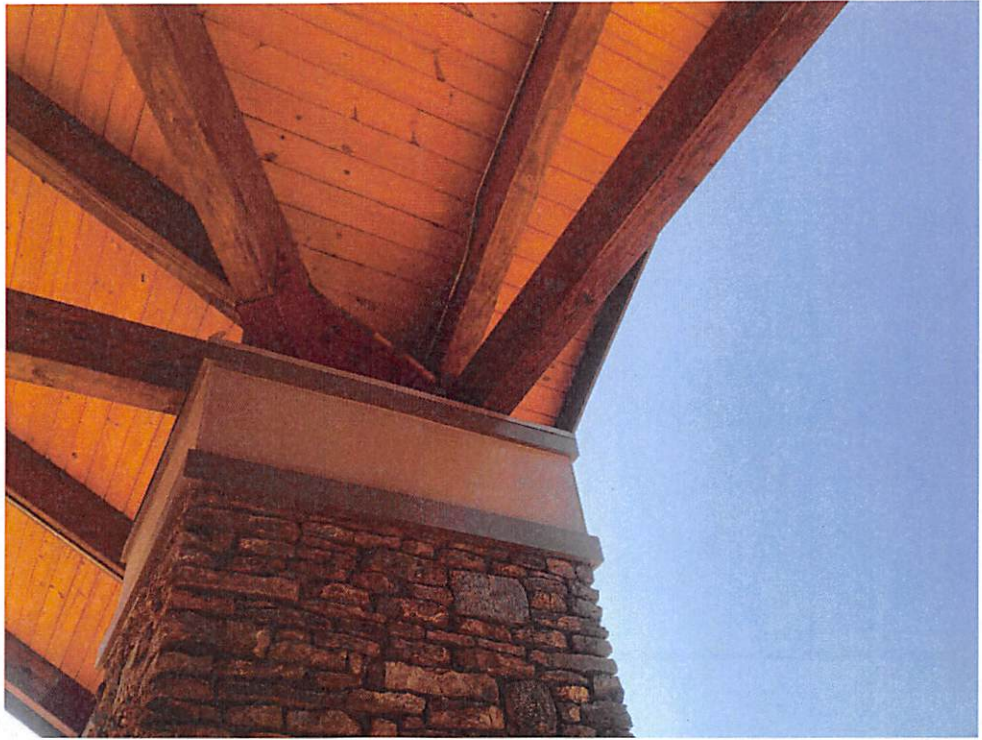


Figure 3 – Pavilion



Figure 4 – Restroom Building

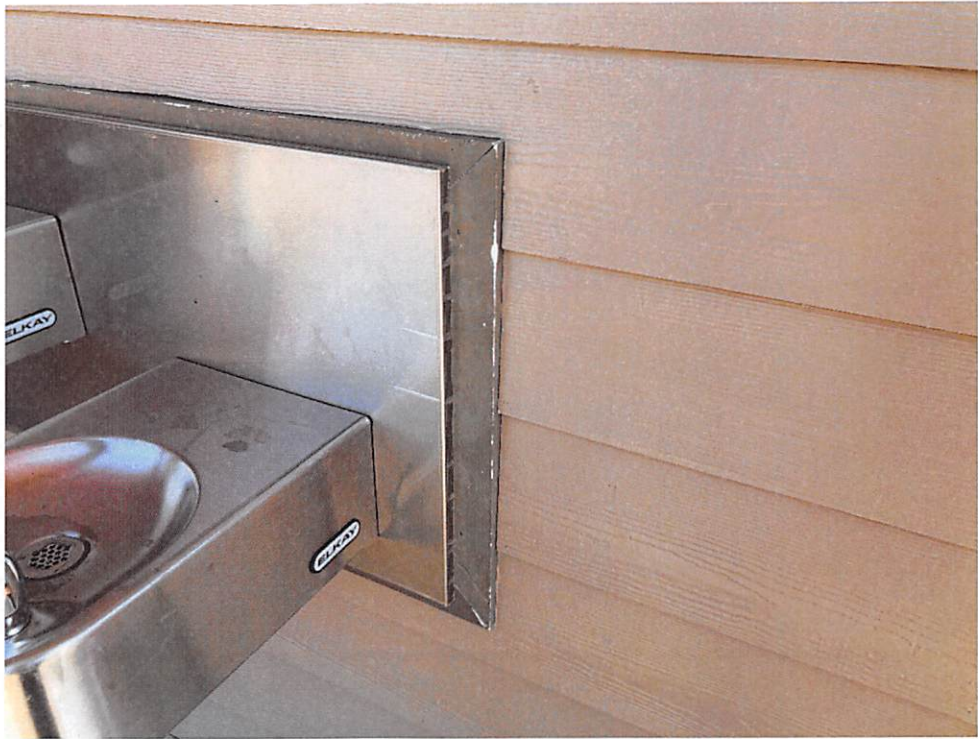


Figure 5 – Restroom Building



Figure 6 – Restroom Building

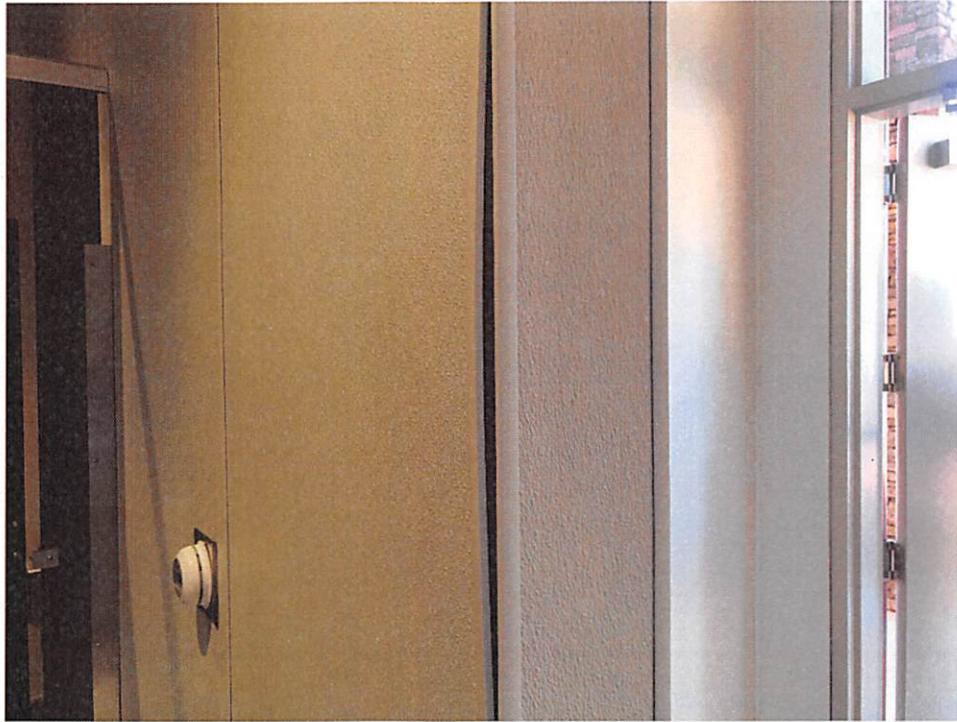


Figure 7 – Restroom Building - Womens



Figure 8 – Restroom Building - Womens



Figure 9 – Restroom Building



Figure 10 – Restroom Building



Figure 11 – Restroom Building



Figure 12 – Restroom Building -Mens



Figure 13 – Restroom Building

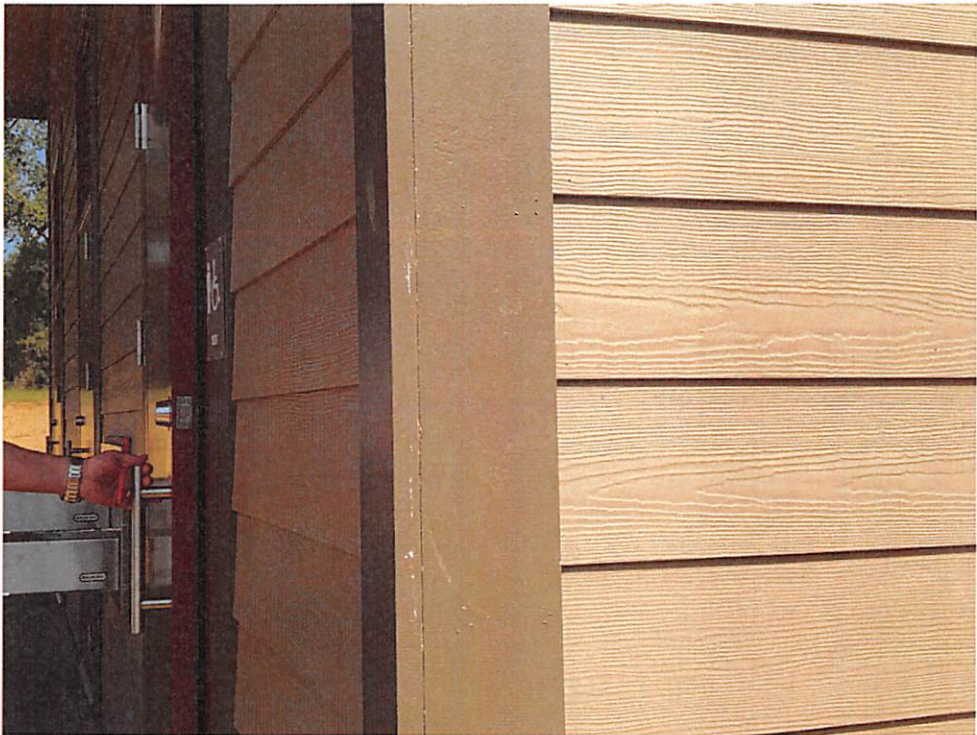


Figure 14 – Restroom Building



Figure 15 – Restroom Building

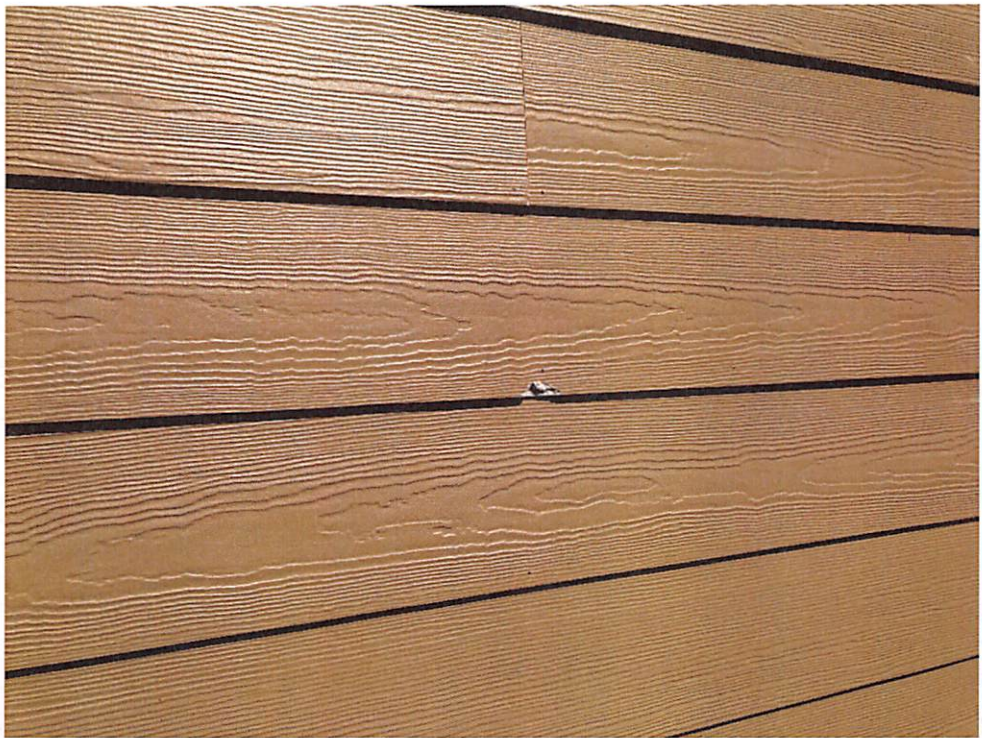


Figure 16 – Restroom Building

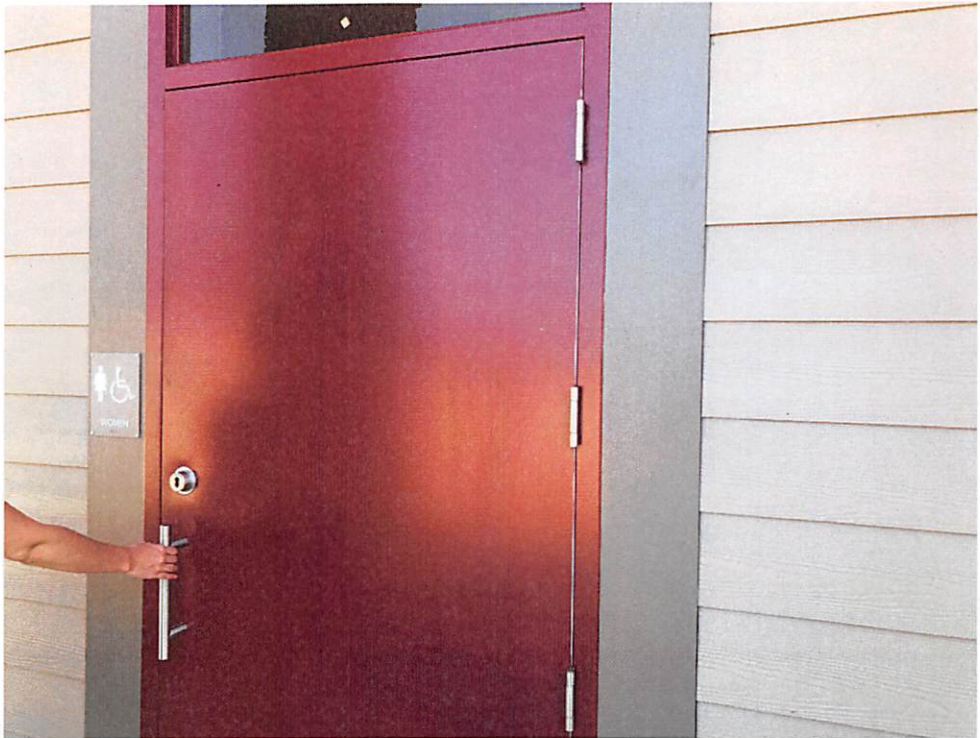


Figure 17 - Restroom Building



Figure 18 - Health Center



Figure 19 – Health Center

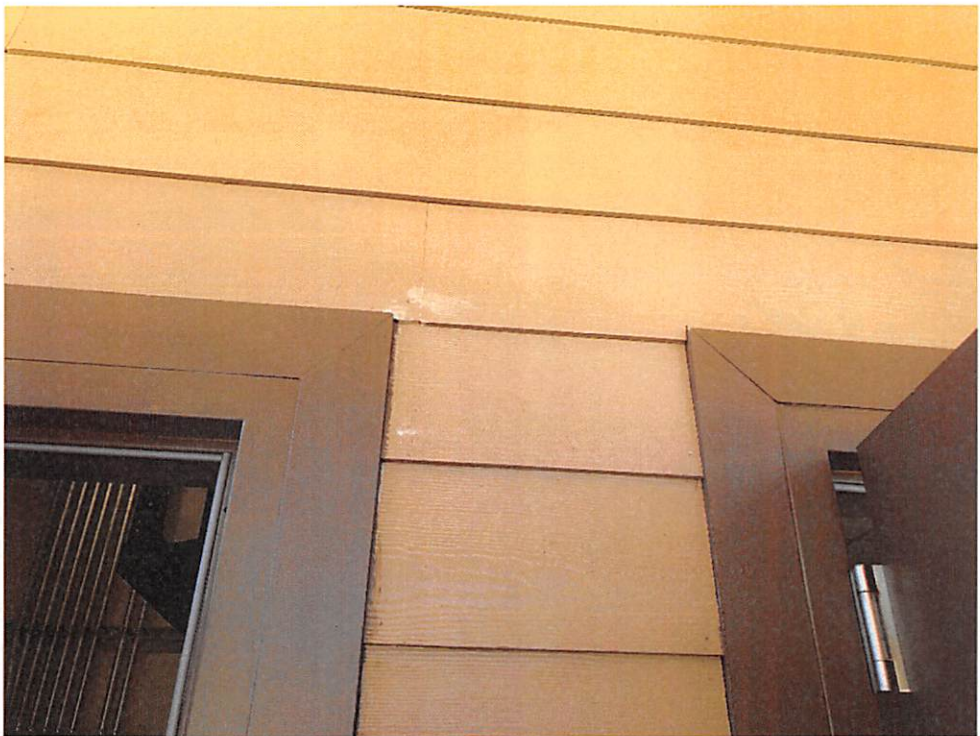


Figure 20 – Health Center



Figure 21 – Health Center



Figure 22 – Health Center



Figure 23 – Health Center

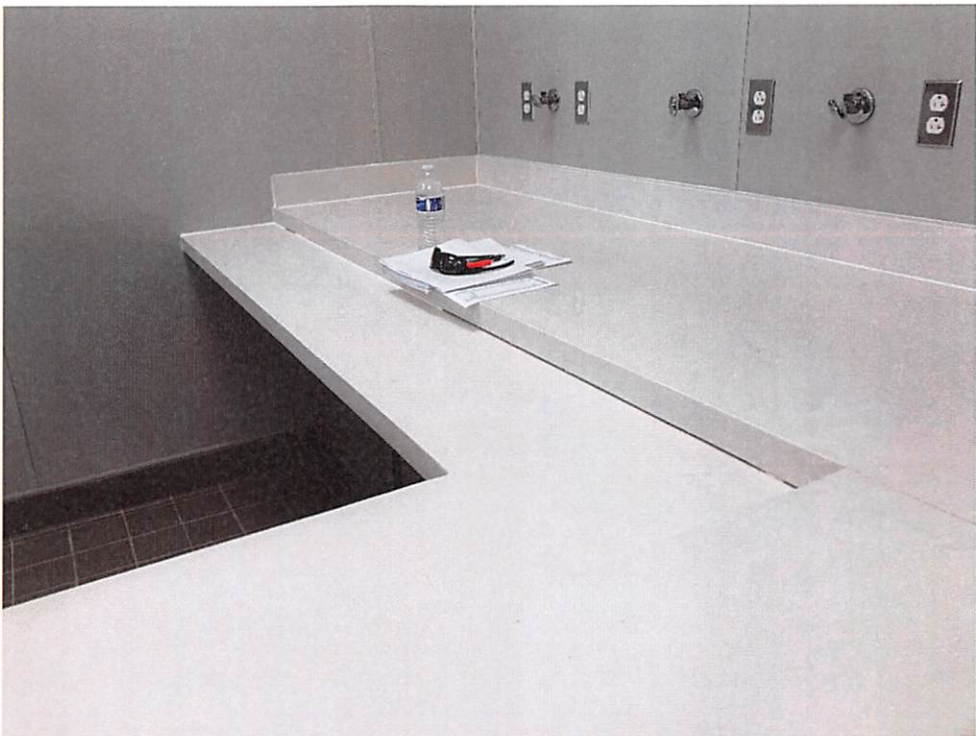


Figure 24 – Health Center



Figure 25 – Health Center



Figure 26 – Health Center



Figure 27 – Front entrance of Health Center

201 Park Court, Suite A
Ridgeland, MS 39157
P: 601.605.2930
F: 1.844.493.3111
www.gskmech.com



MECHANICAL SYSTEM PROJECT OBSERVATION SUBSTANTIAL COMPLETION

Project:	Sulphur Springs Park Health Center, Pavilion and Restrooms	Date:	07/15/20
GSK Project No:	103-009	Time:	7:30 a. m.
Location:	Madison County, MS	Weather Conditions:	Clear; ± 78° F
Contractor:	Benson Builders and Properties, Inc.	Photographs Taken	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Superintendent:	Brett Benson	Pay App Reviewed	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

PROGRESS SINCE LAST OBSERVATION:

Purpose of this site visit was to perform a mechanical system substantial completion observation per the Contractor's request and Architect's directive.

CONTRACTOR INSTRUCTIONS:

1. The Contractor shall remedy all known punch list items to date, with all blanks initialed and dated, and shall thereafter transmit to Architect and Engineer a minimum of four (4) working days prior to requesting a follow-up verification observation.
2. Contractor to submit TAB Report ASAP.

PROJECT CLOSEOUT REQUIREMENTS:

Provide closeout documentation and checklists per Mechanical Specifications.

COMMENTS:

1. Deficiencies have been corrected by the Contractor.
2. TAB report has been submitted to this office.
3. Potable water sanitation/certification has been completed and submitted.
4. Demonstration that HVAC controls have been completed and are operational as specified.



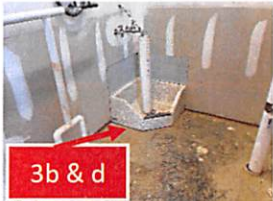


OBSERVED BY:

Al Guynes,
Construction Administrator/Principal


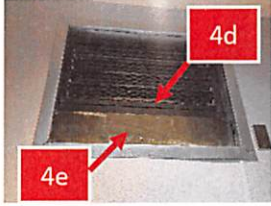


CC: Bobby Strobel – Dale Partners
Ebony Batchelor – Dale Partners


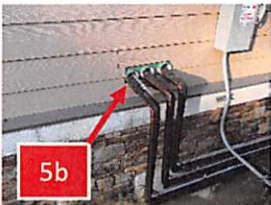

CC: Jason Kackley - GSK

INITIALS OF PERSON COMPLETING TASK	DATE TASK COMPLETED	DESCRIPTION OF TASK
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NOTABLE DEFICIENCIES:		
GENERAL ITEMS:		
PAVILION		
	1	Hose bibb location modified from location indicated on plans. Contractor shall reflect current location on As-Built Drawings.
RESTROOM BUILDING		
	2	Exterior a. Installation of finished grade cleanouts, valve boxes, etc. very incomplete.
		
	3	Utility R03 a. PVC jacketing and labeling required on potable water piping per Specifications. b. Caulking required at base of service sink. c. Label water heater per Specifications. d. Thorough cleaning of water heater and service sink required. e. Seal potable water piping slab penetration to be watertight. f. Complete insulating of potable water piping at water heater.
   		

INITIALS OF PERSON COMPLETING TASK	DATE TASK COMPLETED	DESCRIPTION OF TASK
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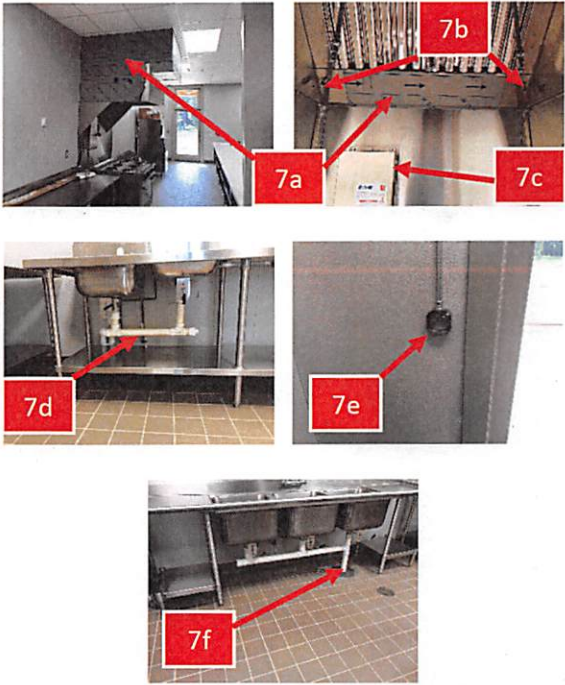
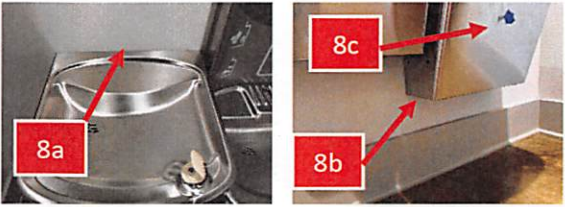
NOTABLE DEFICIENCIES:		
	4	<p>Toilets R01 & R02</p> <ul style="list-style-type: none"> a. Label exhaust fans as specified. b. Flush valve serving urinal continually running. c. Tamper resistant cover required on thermostats serving electric ceiling heaters. d. Wall louver actuators not operating. Louver appears to be stuck in open position which is not acceptable. e. Thorough cleaning of wall louver. f. Complete caulking of plumbing fixture. <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p>4c</p> </div> <div style="text-align: center;">  <p>4d</p> </div> </div> <div style="text-align: center; margin-top: 10px;">  <p>4e</p> </div> <div style="text-align: center; margin-top: 10px;">  <p>4f</p> </div>

HEALTH CENTER		
	5	<p>Exterior</p> <ul style="list-style-type: none"> a. Installation of finish grade cleanouts, valve boxes, GT-1 concrete pad, etc. incomplete. b. Refrigerant piping penetrations through exterior wall shall be sealed watertight per Note on Documents. c. Dielectric isolation required between uninsulated refrigerant piping and galvanized unistrut supports. <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p>5a</p> </div> <div style="text-align: center;">  <p>5b</p> </div> </div> <div style="text-align: center; margin-top: 10px;">  <p>5c</p> </div>

INITIALS OF PERSON COMPLETING TASK	DATE TASK COMPLETED	DESCRIPTION OF TASK
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NOTABLE DEFICIENCIES:		
		<p>Mechanical Room</p> <ul style="list-style-type: none"> a. Wood nor any combustible material allowed within return air plenum. b. Condensate drain piping within plenum not insulated c. PVC jacketing and labeling required on insulated potable water piping. d. Valve on line feeding expansion tank in closed position. e. Complete insulating condensate drain piping serving blower coil units and dehumidifiers. f. Foil back tape required on raw edges of insulation. g. Remove tape from floor drain and clean/paint for new appearance. <div style="display: flex; flex-wrap: wrap; justify-content: space-around;"> <div style="text-align: center;">  <p>6a</p> </div> <div style="text-align: center;">  <p>6b</p> </div> <div style="text-align: center;">  <p>6c</p> </div> <div style="text-align: center;">  <p>6d</p> </div> <div style="text-align: center;">  <p>6e</p> </div> <div style="text-align: center;">  <p>6f</p> </div> <div style="text-align: center;">  <p>6g</p> </div> </div>

INITIALS OF PERSON COMPLETING TASK	DATE TASK COMPLETED	DESCRIPTION OF TASK
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NOTABLE DEFICIENCIES:		
	7	<p>Kitchen</p> <ul style="list-style-type: none"> a. Remove shipping wrap from kitchen hood. b. Grease container not installed on kitchen hood. c. Contractor shall verify that location of stove disconnect switch is acceptable with governing authority and manufacturer's guidelines. d. Painting of all exposed drain and uninsulated potable water piping shall be painted chrome in color by Division 09 Contractor. e. Kitchen hood fire suppression system manual pull station installation very incomplete. f. Air gap not installed on waste piping serving triple compartment sink. 
	8	<p>Hall H02</p> <ul style="list-style-type: none"> a. Caulking required at drinking fountains. b. Bottom section of drinking fountain not anchored to wall. c. Damaged panel on drinking fountain. 

INITIALS OF PERSON COMPLETING TASK	DATE TASK COMPLETED	DESCRIPTION OF TASK
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NOTABLE DEFICIENCIES:		
	9	Toilets H07 & H08 a. Correct leak at lavatory faucet. b. Tighten loose wall escutcheons. c. Clean floor drain and cleanouts for new appearance.
	10	Janitor H03 a. Caulking required at base of service sink and remove ship wrap from stainless steel wall panel at service sink.
	11	General Items a. Clean all plumbing fixtures, including water heaters and installation accessories such as faucets, outlet aerators, etc. b. Clean all floor drains of debris and polish all strainers. c. Thoroughly clean and vacuum inside of return air plenums, HVAC rooms and closets, etc. d. General Contractor shall monitor and maintain air filters in all air handling systems during remaining construction period. Change air filters on day of final inspection and install set of normal use pleated air filters as specified. e. Mechanical Contractor shall clean all new and existing modified HVAC equipment. Straighten and comb all condenser coil fins. f. Provide specified signage/identification of HVAC equipment, water heaters, expansion tanks, temperature, and humidity controllers. g. Provide close-out document information and checklist per Specification Section 200040.

The Power Source, PLLC

Consulting Engineers

305 Highway 51
Ridgeland, MS 39157

Telephone: (601) 605-4820
Fax: (601) 605-4875

FIELD OBSERVATION REPORT

TPS Project # 18202

Project Name: Sulphur Spring Park

Location: Madison County

Date of Site Visit: 7/17/20

I visited the project site on 7/17/20 and made the following observation.

- ~~1. Provide a breaker filler in panel MDP.~~
2. Provide a cover plate for lighting switch and receptacle.
- ~~3. The fire suppression system is not complete.~~
- ~~4. Provide third-party testing for the fire alarm system and a copy of the testing result be send to THE POWER SOURCE.~~

Larry Scott
Construction Administrator
Cell: 601-715-9769
Office: 601-605-4820
email: lscott@thepowersource.us